



*RENDERING ONLY
NTS

216 Burr Blvd. by Angel Valley Homes

GENERAL NOTES

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER PROVINCIAL AND LOCAL CODES VARY WIDELY. THE DESIGNER, CREATIVE DRAFTING & DESIGN, SHALL NOT BE HELD LIABLE FOR ANY ERRORS.
CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE.

GENERAL NOTES:

- OWNER TO REVIEW DRAWINGS PRIOR TO CONSTRUCTION AND BE SATISFIED AS TO ALL ASPECTS OF THE DESIGN.
- ALL FRAMING LUMBER TO BE #2 OR BETTER FIR OR SPRUCE
- ALL LINTELS LESS THAN 6'-0" IN LENGTH TO BE 2 — 2x10 UNLESS OTHERWISE SPECIFIED
- ENG. FLR JOISTS, TRUSSES, LINTELS (LONGER THAN 6'-0") AND STEEL OR LVL BEAMS TO BE ENGINEERED BY P. ENG. LICENCED TO PRACTICE IN SASKATCHEWAN.
- CONSTRUCTION TO CONFORM TO NATIONAL BUILDING CODE AND OR LOCAL MUNICIPAL CODES

- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- BUILDER TO CONSULT OWNER IF SPECS. ARE TO BE ALTERED FROM FINAL PLAN
- LOCAL SOIL CONDITIONS AND OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING AND FOUNDATION WALL DESIGN, WHICH MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER. THIS WILL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR PROVIDE.
- ALL CONCENTRATED LOADS i.e. ENDS OF FLOOR BEAM, GIRDERS, TO BE TRANSFERRED THROUGH TO FOUNDATION INCL. SQUASH BLOCKS IN FLOOR DIAPHRAGM
- LOCAL CODE INTERPRETATION OR LOCAL PRACTICE MAY NECESSITATE USING THE SERVICES OF A CERTIFIED STRUCTURAL ENGINEER TO REVIEW THE DRAWINGS AND MODIFY THE SPECIFICATIONS STATED ON THE DRAWING TO MEET THE CRITERIA OF THE ENGINEER. THIS WILL BE THE RESPONSIBILITY OF OWNER OR CONTRACTOR TO PROVIDE.
- VENTILATION REQUIREMENTS ARE TO CONFORM TO LOCAL CODES AND BE DETERMINED BY A HEATING OR VENTILATION CONSULTANT.
- ALL ENG. COMPONENTS TO BE INSTALLED TO MANUF. SPECIFICATIONS
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS
- BUILDER MUST VERIFY ALL DIMENSIONS, INFORMATION, AND SPECS. BEFORE STARTING WORK AND NOTIFY DESIGNER OF ANY ERRORS

TYP. CONSTRUCTION NOTES:

ROOF:

- 30yr ASPHALT SHINGLES
- FELT EAVE PROTECTION (#15x2)
- VENT 1/300 (50% AT EAVE, 50% AT RIDGE)
- 7/16" OSB ROOF SHEATHING C/W H CLIPS
- ENG. TRUSSES @ 24" o.c. w/ RIDGE BLOCKS.
- R50 INSULATION (MIN.)
- 6 MIL POLY CGSB
- 1/2" CEILING DRYWALL

EAVES

- PRE-FINISHED ALUM. SOFFITS, FACIA, GUTTERS AND DOWNSPOUTS

EXTERIOR WALL:

- EXTERIOR FINISHED
- AIR BARRIER
- 3/8 OSB WALL SHEATHING
- 2x6 STUDS @ 16" o.c.
- R22 BATT INSULATION
- 6 MIL POLY CGSB
- 1/2" DRYWALL

INTERIOR WALL:

- 1/2" DRYWALL
- 2x4 STUDS @ 16" o.c.
- 1/2" DRYWALL

FLOOR

- FINISHED FLOOR
- 3/8" UNDERLAY (LINO & TILE AREAS)
- 3/4" T&G OSB SUBFLOOR
- ENG. FLOOR SYSTEM AS DESIGNED BY SUPPLIER

SOIL GAS PROTECTION:

- FLEXIBLE SEALANT AROUND PERIMETER OF CONCRETE FLOOR AND AT ALL PENETRATIONS OF FLOOR SLAB. (e.g. PLBG, PIPES)

WEEPING TILE

- 4" DIA. WEEPING TILE w/ RADON TRAP IN MIN. 6" CRUSHED ROCK

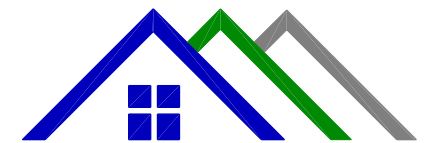
INDEX OF DRAWINGS

- A1.1 - COVER PAGE
- A2.1 - SITE PLAN
- A3.1 - FOUNDATION PLAN
- A3.2 - FOUNDATION DETAILS
- A3.3 - ROOF & BSMNT. PLANS
- A4.1 - MAIN FLOOR PLAN
- A4.2 - SECOND FLOOR PLAN
- A5.1 - ELEVATIONS
- A5.2 - ELEVATIONS
- A6.1 - SECTIONS
- A6.2 - DETAILS
- A7.1 - ELECTRICAL

**Angel Valley
Homes Inc.**
Homes of Elegance & Comfort

PH: 306-111-2222

EMAIL: info@avh



Creative Drafting & Design
Custom Home Planning

Ph: 306-290-5098

Email: bg@createdrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

COVER PAGE

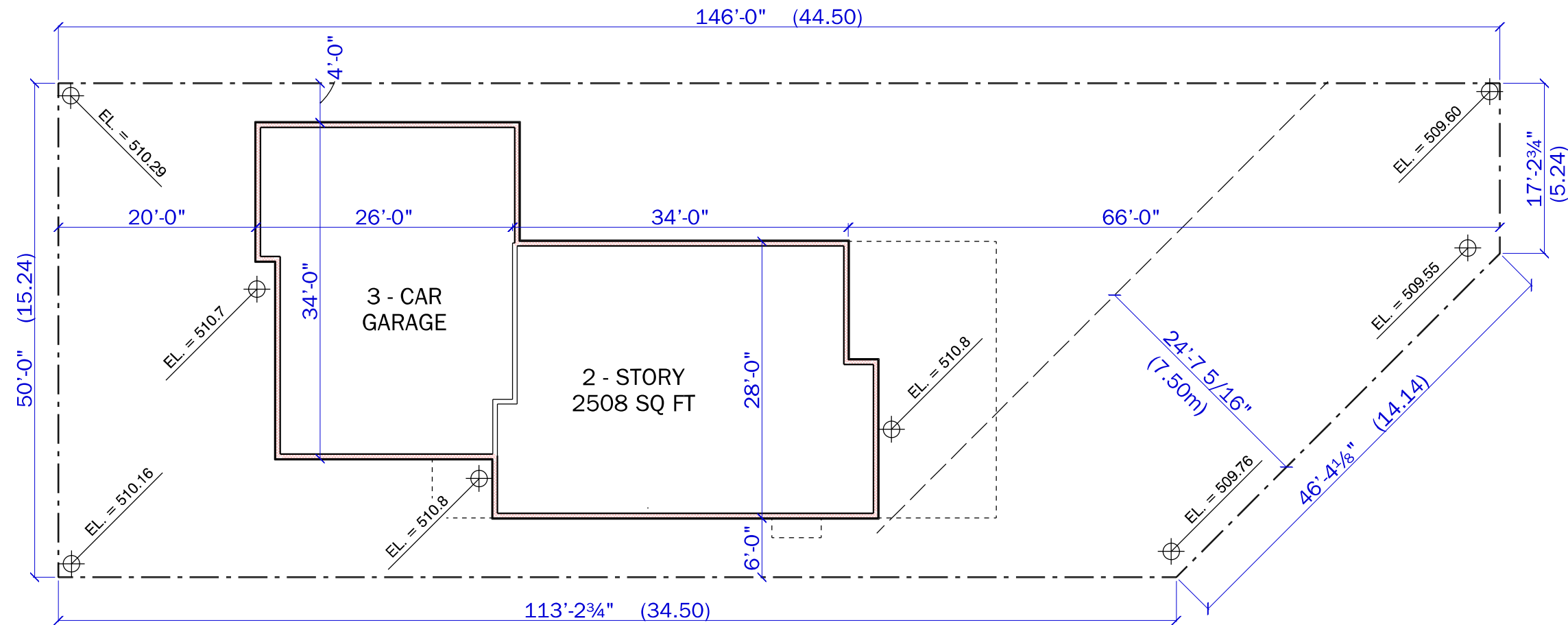
DRAWING:

A1.1

SEE NOTES AND
DETAILS ALL PAGES

THIS DRAWING AND THE IDEAS CONTAINED WITHIN
REMAIN THE PROPERTY OF CREATIVE DRAFTING AND
DESIGN AND CANNOT BE COPIED OR REPRODUCED
WITHOUT THE CONSENT OF THE OWNER

BURR BLVD.



NOTE:
 - SURVEYOR TO CONFIRM SIZE AND SHAPE OF LOT PRIOR TO CONSTRUCTION.
 - SURVEYOR TO CONFIRM SIZE AND LOCATION OF EASEMENTS, IF ANY.

LEGAL DESCRIPTION:

LOT: 4
 BLOCK: 27
 PLAN: 69S2207
 ADDRESS: 216 BURR BLVD.

SITE PLAN
 SCALE: 1" = 15'

Angel Valley Homes Inc.
 Homes of Elegance & Comfort

PH: 306-111-2222
 EMAIL: info@avh


 Creative Drafting & Design
 Custom Home Planning
 Ph: 306-290-5098
 Email: bg@creativedrafting.ca

CLIENT: _____
 ADDRESS: 216 BURR BLVD.
 PROJECT: RESIDENCE
 DRAWN BY: BG
 REFERENCE #: 21301
 SCALE: NOTED
 DATE: 2/13/2021
 TITLE: SITE PLAN

SEE NOTES AND DETAILS ALL PAGES

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

DRAWING: **A2.1**

CONCRETE SPECS.

CONCRETE FOOTING:

- 24"x8" CONT. w/ 3-10M CONT. ON UNDISTURBED SOIL (OVER-EXCAVATIONS TO BE FILLED WITH CONCRETE)

CONCRETE FDN WALL:

- 8" x 9" CONC FDN WALL w/ REBAR:
 - 2-10M HORIZONTAL BARS TOP, MIDDLE & BOTTOM
 - 1 ROW - 15M VERTICAL @ 24" o.c.
 - 2 - 15M x 96" REBAR ON EACH SIDE OF WINDOWS
 - 2 - 15M REBAR ON BOTTOM OF ALL WINDOWS (REFER TO DETAILS DRWG. A3.2)
- DAMPROOFING TO GRADE BOTH SIDES
- 1/2" AIR SPACE
- 2x6 WOOD FRAMING @ 24" o.c.
- CAVITY SPACE w/ R20 BATT INSULATION
- 6 MIL POLY V.B.
- 1/2" DRYWALL

PADS & TELEPOSTS

- CONTRACTOR TO VERIFY PAD LOADING WITH FLOOR SUPPLIER PRIOR TO POURING PADS
- 36" x 36" x 10" CONC. PAD w/ 4-15M EACH WAY - BOTTOM (UNO)
- ADJUSTABLE TELEPOSTS AS PER SUPPLIER

CONCRETE SLAB (HOUSE)

- 4" CONC SLAB w/ 10M BARS @ 24" o.c.
- FLEXIBLE SEALANT AROUND PERIMETER OF CONC. FLOOR AND AT ALL PENETRATIONS OF THE CONCRETE FLOOR.
- 6 MIL POLY CGSB
- 48"x3" EPS RIGID INSUL. AROUND PERIM.
- 6" COMPACTED GRANULAR FILL (COMPACTED TO 98% STANDARD PROCTOR)

CONCRETE FROST WALL: (GARAGE)

- 8" x 48" CONC. FROST WALL w/ 2-15M TOP AND BOTTOM
- 4" POLYSTYRENE VOID FORM BETWEEN PILES
- PIN FROST WALL TO FDN WALL w/ 2-15M X 48" LONG

CONCRETE SLAB (GARAGE):

- 4" CONC SLAB w/ 10M @ 24" o.c. EACH WAY
 - CONTROL JOINTS BOTH WAYS
 - SLOPE GARAGE SLAB MIN 3" FOR DRAINAGE
 - PIN SLAB TO HOUSE FDN, WITH 10M @ 24" o.c. x 18" LONG
 - 6" COMPACTED GRANULAR FILL
- TYP. CONTOL JOINTS:
1/8" WIDE x 1 1/4" DEEP SAW CUTS w/ CAULKING. NOTE: SAW CUT SLAB WITHIN 24 HOURS OF SLAB POUR.

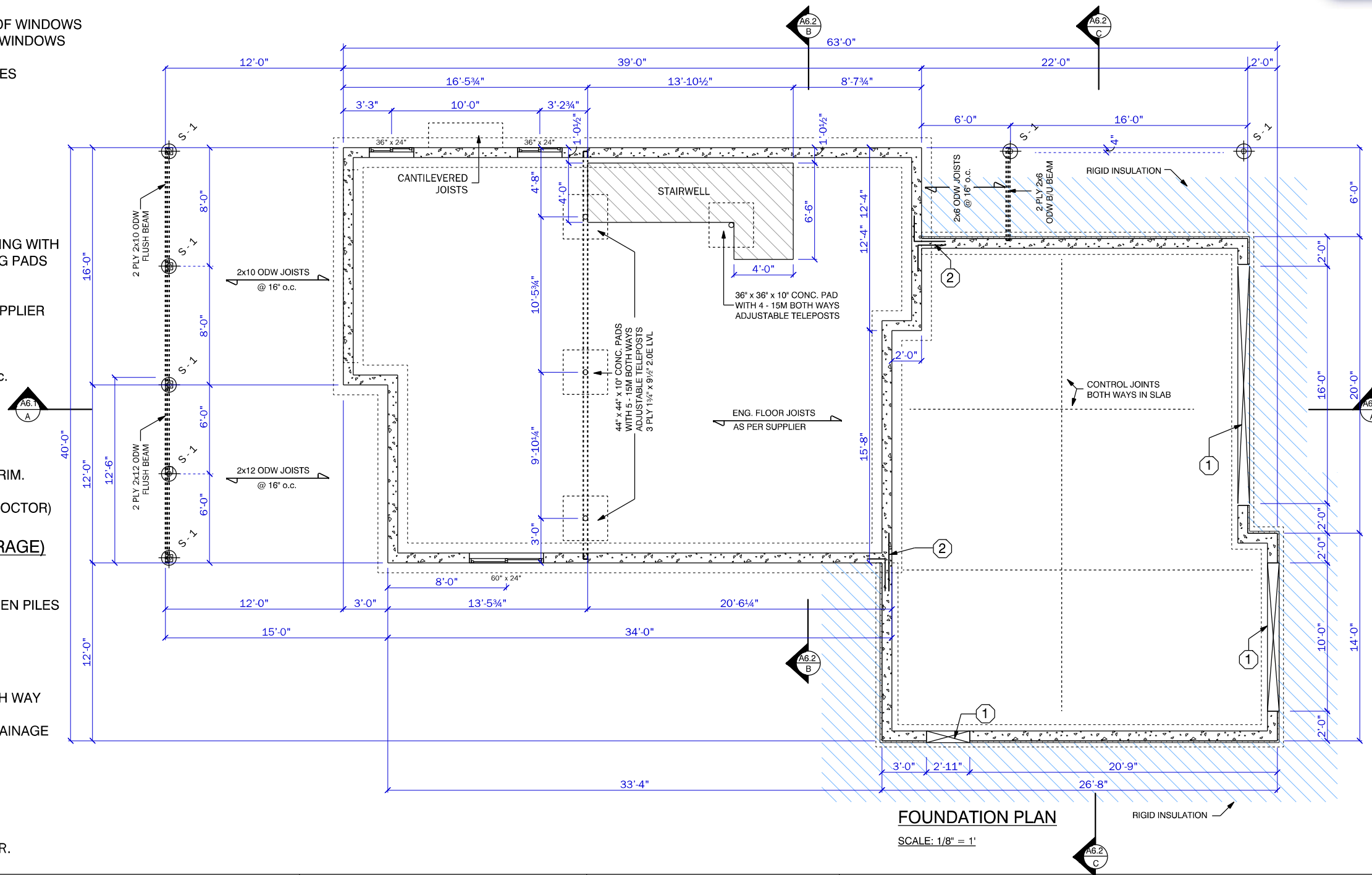
1 LOWER FROST WALL TO UNDERSIDE OF SLAB. AT O.H. & MAN DOOR LOCS. (TYP. 2 LOCS)

2 2 - 15M x 48" REBAR DOWELS T & B INTO BSMNT. WALLS (TYP. 2 LOCS.)

PROVIDE ROUGH IN FOR RADON EXTRACTION SYSTEM

CONCRETE PROPERTIES:
- BSMNT. SLABS, & PILES: 20MPa HS CEMENT
- FOUNDATION WALLS, FROST WALL: 25MPa HS CEMENT
- GARAGE SLABS: 28MPa HS CEMENT

NOTE:
THE CONTRACTOR MUST TAKE PICTURES EACH DAY OF FOUNDATION CONSTRUCTION.



FOUNDATION PLAN

SCALE: 1/8" = 1'



PH: 306-111-2222
EMAIL: info@avh

Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@createdrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

FOUNDATION

DRAWING:

A3.1

SEE NOTES AND DETAILS ALL PAGES

S - 1 SCREW PILINGS:

7 POSTECH 2-3/8" x 7' x 10" (MIN.) SCREW PILES
MIN. INSTALL TORQUE = 1000 FT-LBS

SUMP TO BE LOCATED AT LEAST 18" (450mm) FROM FOOTINGS,

CONCRETE SPECS.

CONTRACTOR TO MODIFY CONCRETE SPECIFICATIONS TO SUIT LOCAL CONDITIONS

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

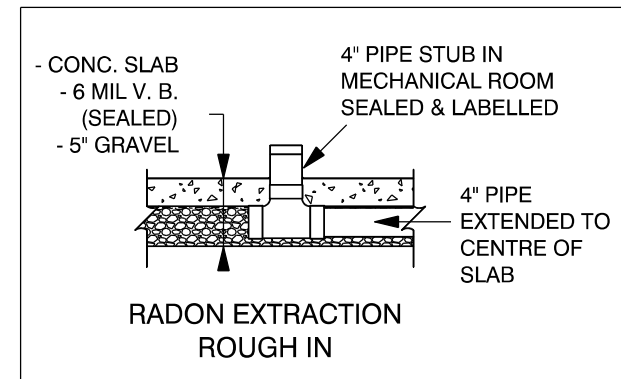
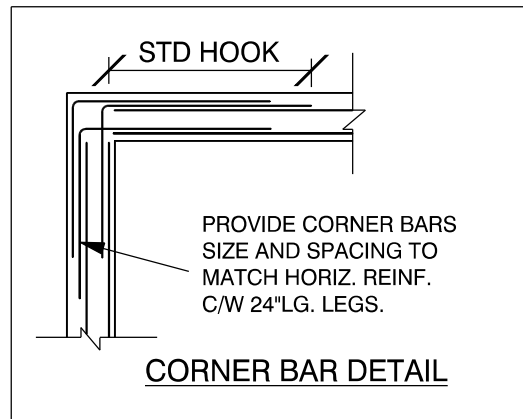
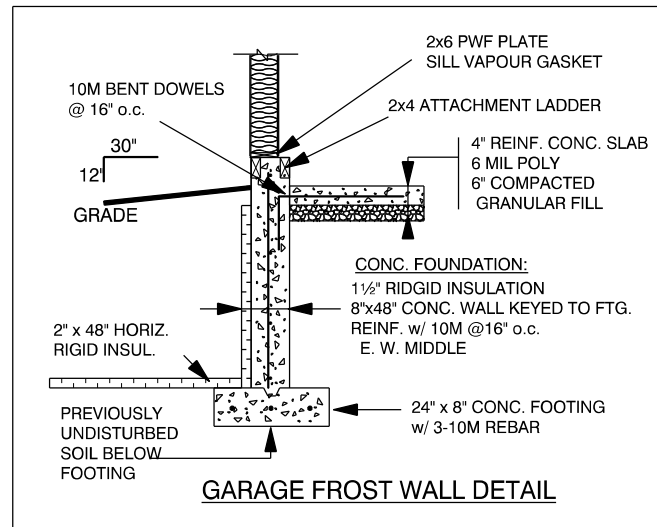
CONCRETE FDN WALL:

- 8" x 9' CONC FDN WALL w/ REBAR:
- 2 - 10M BARS TOP, MIDDLE & BOTTOM
- 1 ROW - 15M VERTICAL @ 24" o.c.
- 2 - 15M x 96" REBAR ON EACH SIDE OF WINDOWS
- 2 - 15M REBAR ON BOTTOM OF ALL WINDOWS (REFER TO DETAILS DRWG. A3.2)
- DAMPROOFING TO GRADE BOTH SIDES
- 1/2" AIR SPACE
- 2x6 WOOD FRAMING @ 24" o.c.
- CAVITY SPACE w/ R20 BATT INSULATION
- 6 MIL POLY V.B.
- 1/2" DRYWALL

THE CAST-IN-PLACE CONCRETE PILE DESIGN IS BASED ON THE ASSUMPTION THAT THE SOIL IS COHESIVE (CLAY OR TILL) AND HAS A MINIMUM SKIN FRICTION CAPACITY OF 20 kPa. IF THE CONTRACTOR OBSERVES A SOIL THAT IS COHESIONLESS (SAND OR SILT), CONCRETE PILES MAY NOT BE APPROPRIATE. ALSO, IF THE PILES ARE PLACED IN FILL MATERIAL MORE THAN 6' IN DEPTH, THE PILE SHOULD BE LENGTHENED BY THE FILL DEPTH GREATER THAN 6'



PH: 306-111-2222
EMAIL: info@avh



CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

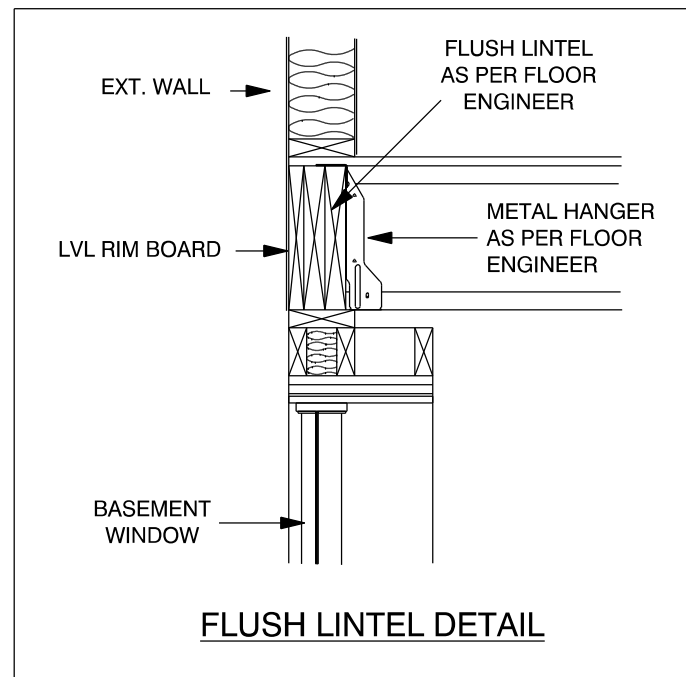
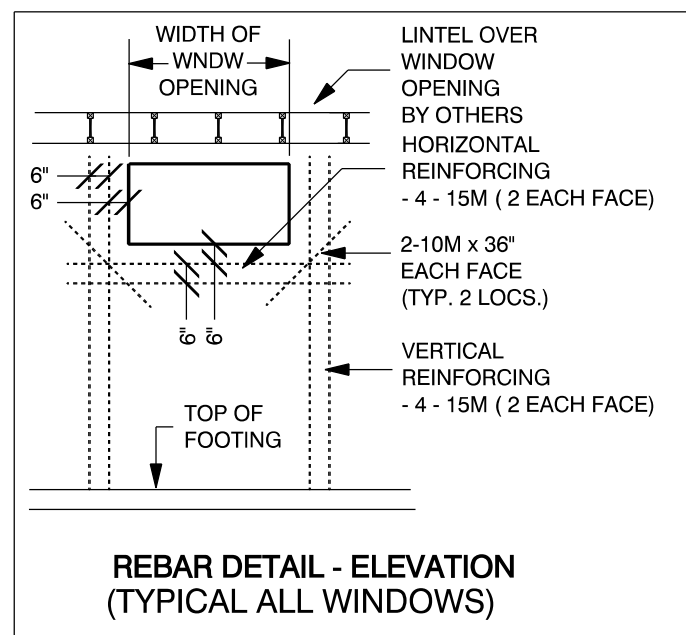
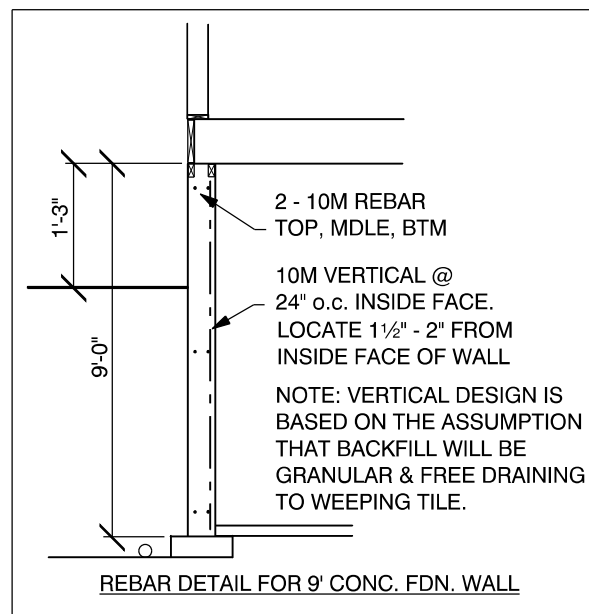
2/13/2021

TITLE:

DETAILS

DRAWING:

A3.2



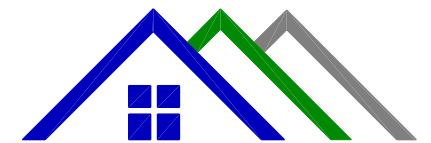
SEE NOTES AND DETAILS ALL PAGES

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

**Angel Valley
Homes Inc.**
Homes of Elegance & Comfort

PH: 306-111-2222

EMAIL: info@avh



Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@creativedrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

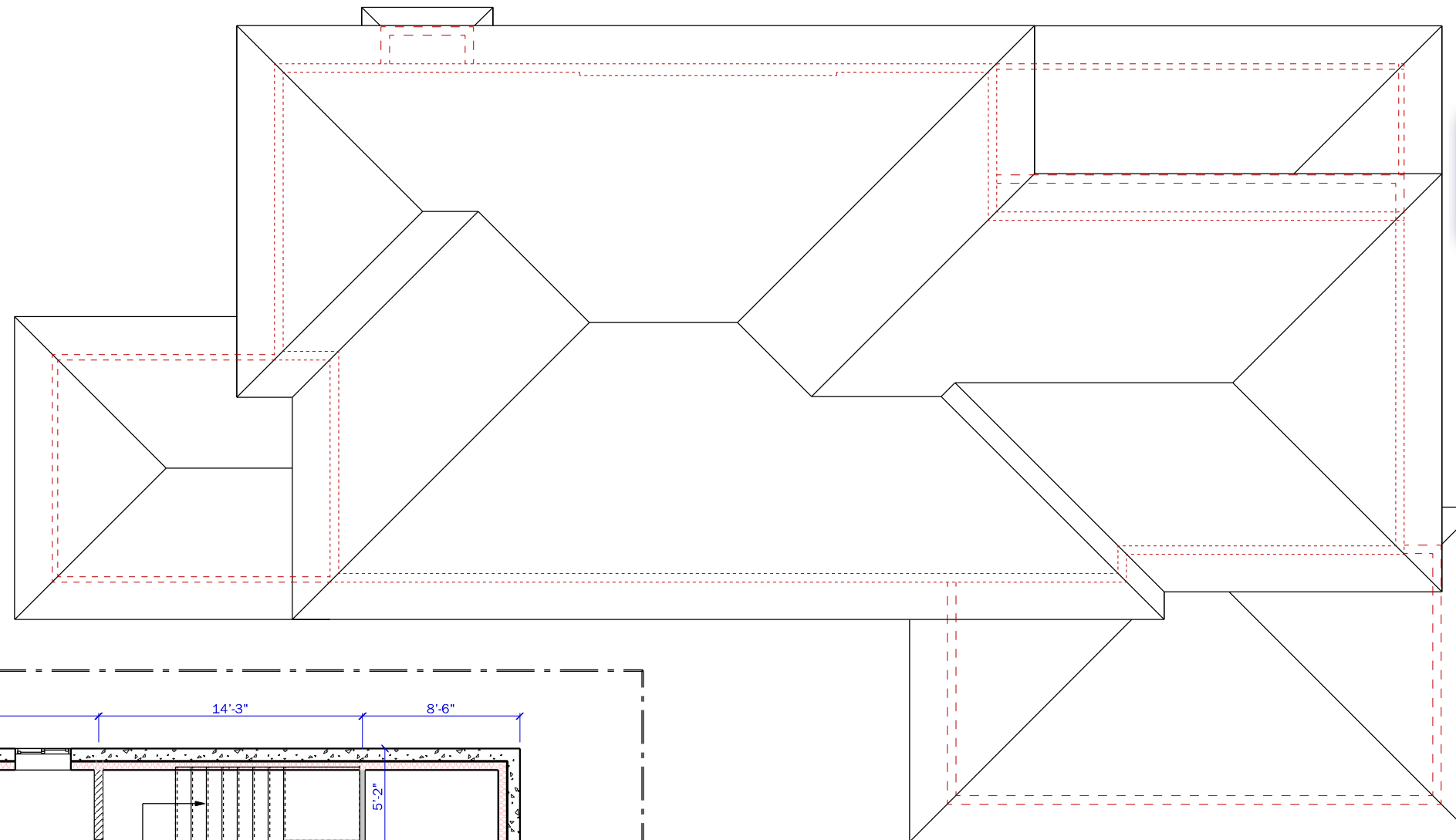
2/13/2021

TITLE:

**BASEMENT &
ROOF PLANS**

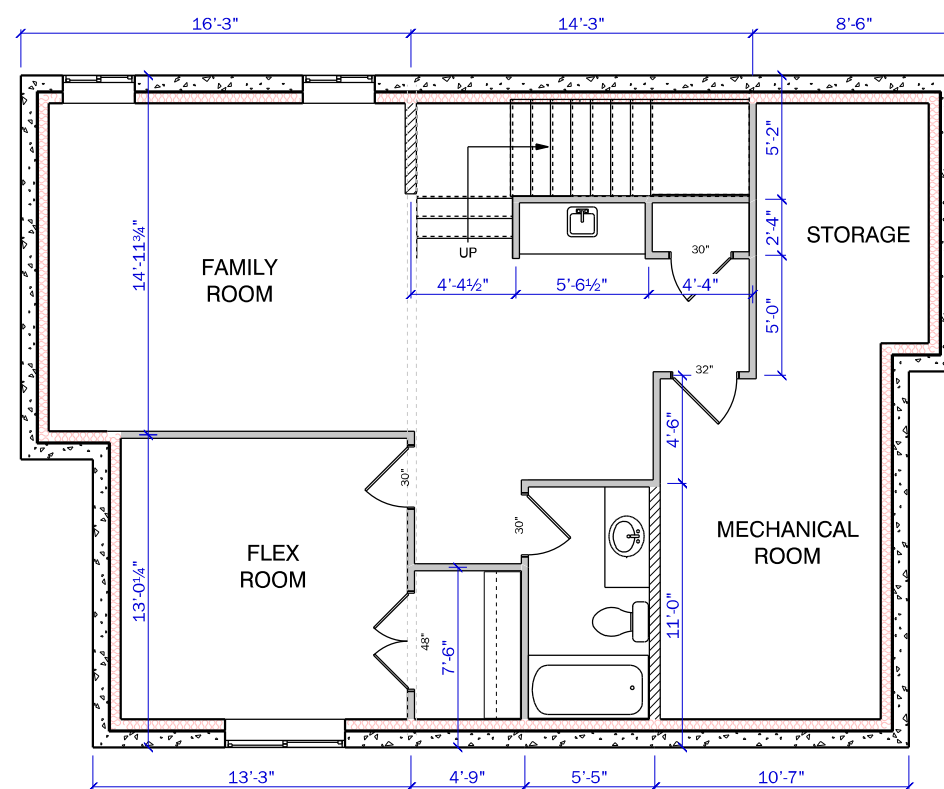
DRAWING:

A3.3



ROOF PLAN

SCALE: 1/8" = 1'



BASEMENT PLAN

SCALE: 1/8" = 1'

SEE NOTES AND
DETAILS ALL PAGES

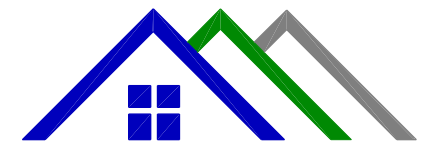
THIS DRAWING AND THE IDEAS CONTAINED WITHIN
REMAIN THE PROPERTY OF CREATIVE DRAFTING AND
DESIGN AND CANNOT BE COPIED OR REPRODUCED
WITHOUT THE CONSENT OF THE OWNER

AREA SCHEDULE	
MAIN FLOOR	1034 SQ. FT.
SECOND FLOOR	1474 SQ. FT.
TOTAL LIVING AREA	2508 SQ. FT.
GARAGE	843 SQ. FT.
TOTAL FOOTPRINT	1877 SQ. FT.

**Angel Valley
Homes Inc.**
Homes of Elegance & Comfort

PH: 306-111-2222

EMAIL: info@avh



Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@creativedrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

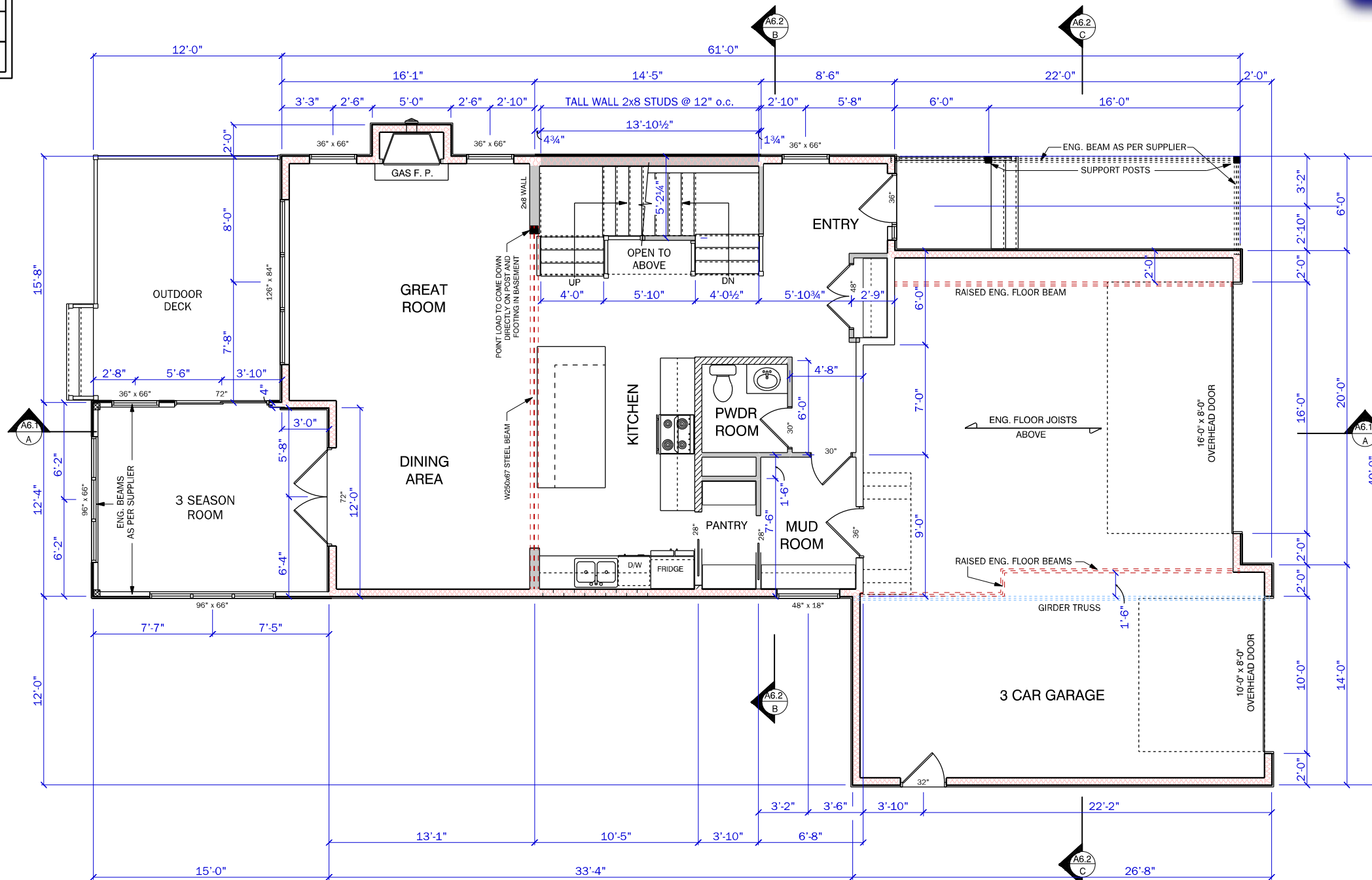
2/13/2021

TITLE:

FLOOR PLAN

DRAWING:

A4.1



MAIN FLOOR PLAN

SCALE: 1/8" = 1'

INTERIOR GUARDS TO BE A MINIMUM HEIGHT OF 36" AROUND LANDING AND STAIRS. MAX. OPENINGS BETWEEN SPINDLES = 4"

CABINET DESIGN AND LAYOUT TO BE DETERMINED BY HOME OWNER, CABINET BUILDER AND CONTRACTOR

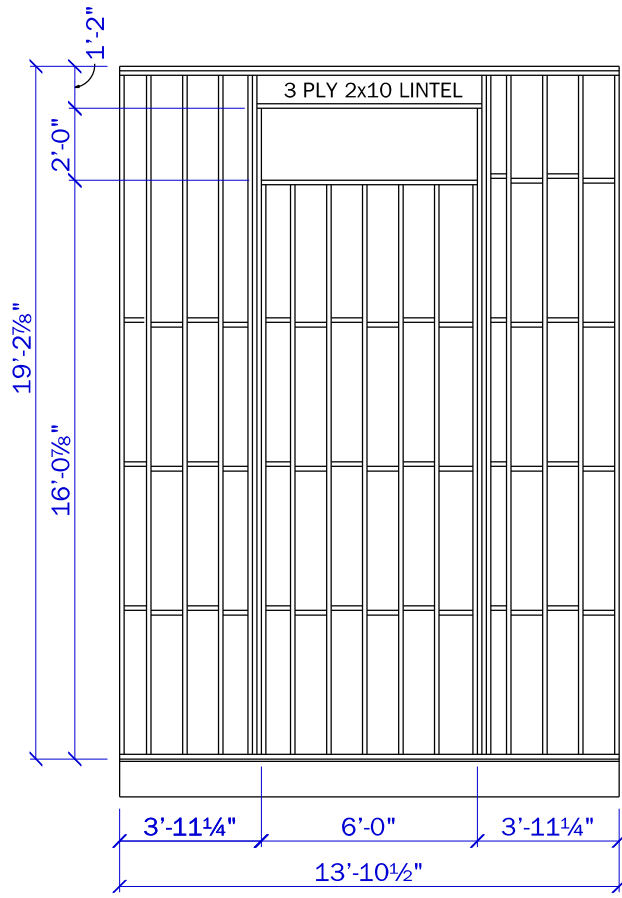
ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF FRAMING.

SEE NOTES AND DETAILS ALL PAGES

EXACT WINDOW AND DOOR SIZES TO BE DETERMINED BY HOME OWNER AND CONTRACTOR

EXACT LOCATION OF KITCHEN WINDOW TO BE DETERMINED BY HOME OWNER AND CABINET BUILDER

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER



TALL WALL PLAN

SCALE: 3/16" = 1'

NOTE:
CONTRACTOR TO CONFIRM
THAT BEDROOM WINDOWS ARE
EGRESS CODE COMPLIANT

CONTRACTOR TO PROVIDE A
22" x 28" CEILING ACCESS IN AN
OWNER DETERMINED LOCATION

INTERIOR GUARDS TO BE A MINIMUM
HEIGHT OF 36" AROUND LANDING
AND STAIRS. MAX. OPENINGS
BETWEEN SPINDLES = 4"

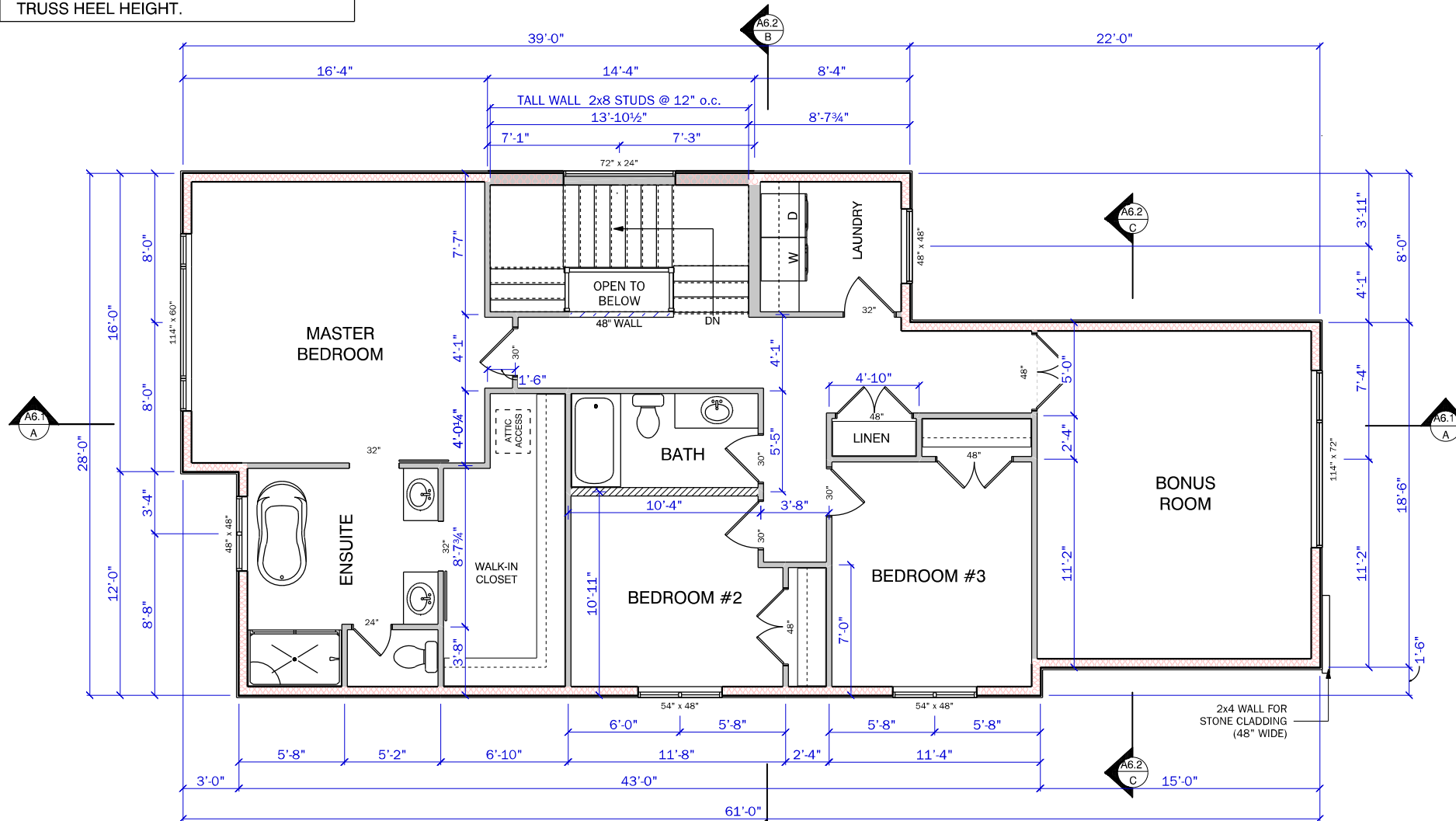
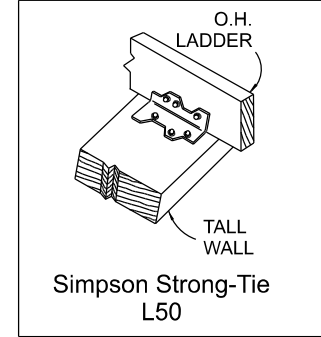
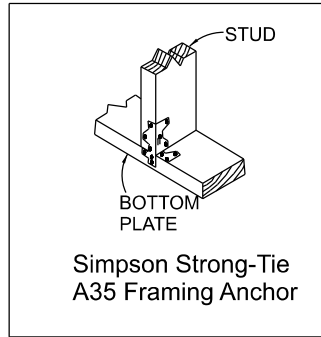
SEE NOTES AND
DETAILS ALL PAGES

**FRAMING NOTES FOR REAR
ENGINEERED TALL WALLS**

- TALL WALLS TO BE FULL HEIGHT 2"x8" STUDS @ 12" o.c. #2 OR BTR.
- DOUBLE TOP AND SINGLE BOTTOM 2"x8" WALL PLATES
- 5 - 3/4" 12D NAILS PER STUD TOP AND BOTTOM PLATES
- FULL HEIGHT 2 PLY 2x8 KING STUDS REQUIRED BOTH SIDES OF OPENINGS IN ADDITION TO REQUIRED CRIPPLE STUDS w/ A35 SIMPSON STRONG-TIE FRAMING CLIPS.
- TRUSSES OR OUTLOOK FRAMING SUPPORTED ON TALL WALL TO BE CONNECTED WITH SIMPSON L50 CLIP (OR APPROVED EQUAL)
- BOTTOM PLATES NAILED TO SOLID BLOCKING BELOW FLOOR SHEATHING.
4 - 3/4" 12D NAILS PER PLY OF KING STUD PLACED SYMMETRICALLY EITHER SIDE 3" APART IN ADDITION TO TYP. 4 - 3/4" 12D NAILS PER STUD SPACE.
- STAGGERED BLOCKING @ 4'-0" o.c.
- 3/8" OSB WALL SHEATHING

NOTES:

- CONFIRM OPENING SIZES WITH SUPPLIER.
- HEIGHT OF WALLS IS DEPENDENT ON TRUSS HEEL HEIGHT.



SECOND FLOOR PLAN

SCALE: 1/8" = 1'

ALL DIMENSIONS ARE FROM
OUTSIDE EDGE OF FRAMING.

CABINET DESIGN AND LAYOUT
TO BE DETERMINED BY HOME
OWNER, CABINET BUILDER
AND CONTRACTOR

THIS DRAWING AND THE IDEAS CONTAINED WITHIN
REMAIN THE PROPERTY OF CREATIVE DRAFTING AND
DESIGN AND CANNOT BE COPIED OR REPRODUCED
WITHOUT THE CONSENT OF THE OWNER

**Angel Valley
Homes Inc.**
Homes of Elegance & Comfort

PH: 306-111-2222
EMAIL: info@avh

Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@createdrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

SECOND FLOOR
& TALL WALL

DRAWING:

A4.2

PH: 306-111-2222
EMAIL: info@avh



Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@creativedrafting.ca

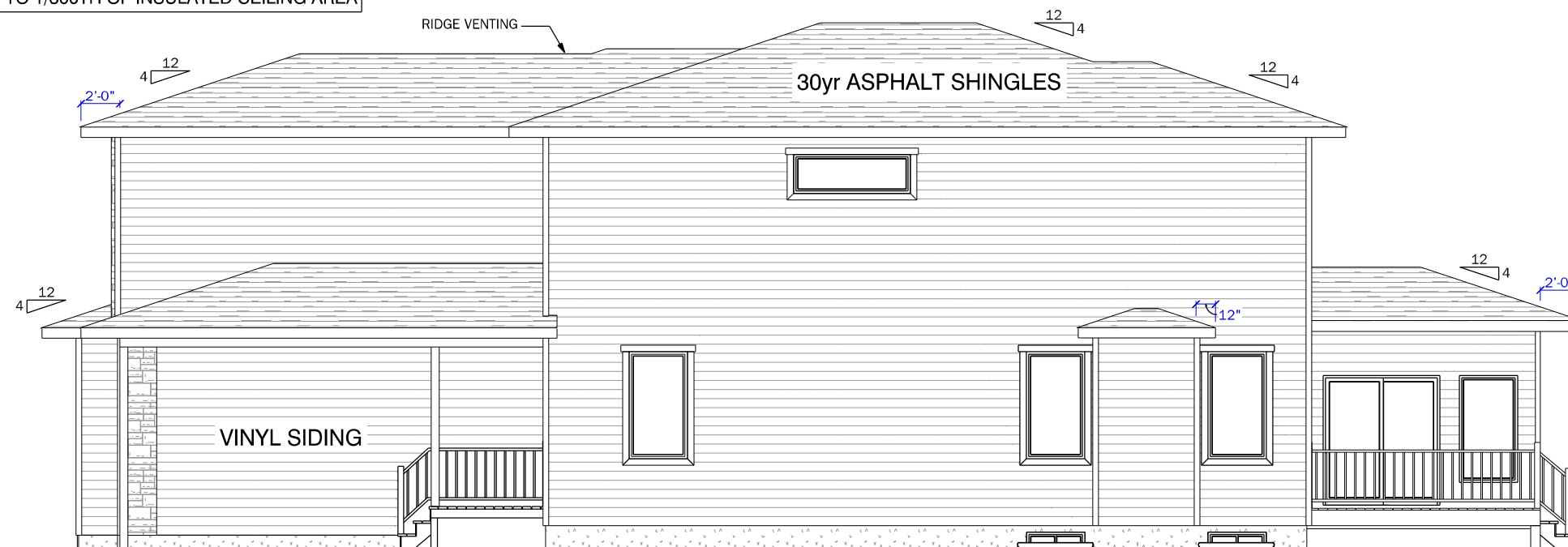


ALUM. SOFFITS,
FACIA AND GUTTERS

1 FRONT ELEVATION
SCALE: 1/8" = 1'

- DEADBOLTS TO BE INSTALLED ON ALL EXT. DOORS
- PROVIDE SECURITY BLOCKING AT MID HEIGHT ALONG BOTH SIDES OF DOOR
- PROVIDE DOOR VIEWER IF NO SIDELITE

NOTE:
VENTILATE ROOF TO 1/300TH OF INSULATED CEILING AREA



MINIMUM 8" FROM
FRAMING TO
FINISHED GRADE

2 RIGHT ELEVATION
SCALE: 1/8" = 1'

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

ELEVATIONS

DRAWING:

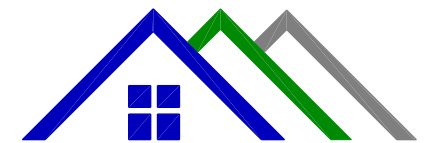
A5.1

SEE NOTES AND
DETAILS ALL PAGES

GRADE LINES ARE FOR ILLUSTRATION
PURPOSES ONLY. ACTUAL GRADES TO
BE DETERMINED ON SITE.

THIS DRAWING AND THE IDEAS CONTAINED WITHIN
REMAIN THE PROPERTY OF CREATIVE DRAFTING AND
DESIGN AND CANNOT BE COPIED OR REPRODUCED
WITHOUT THE CONSENT OF THE OWNER

PH: 306-111-2222
EMAIL: info@avh



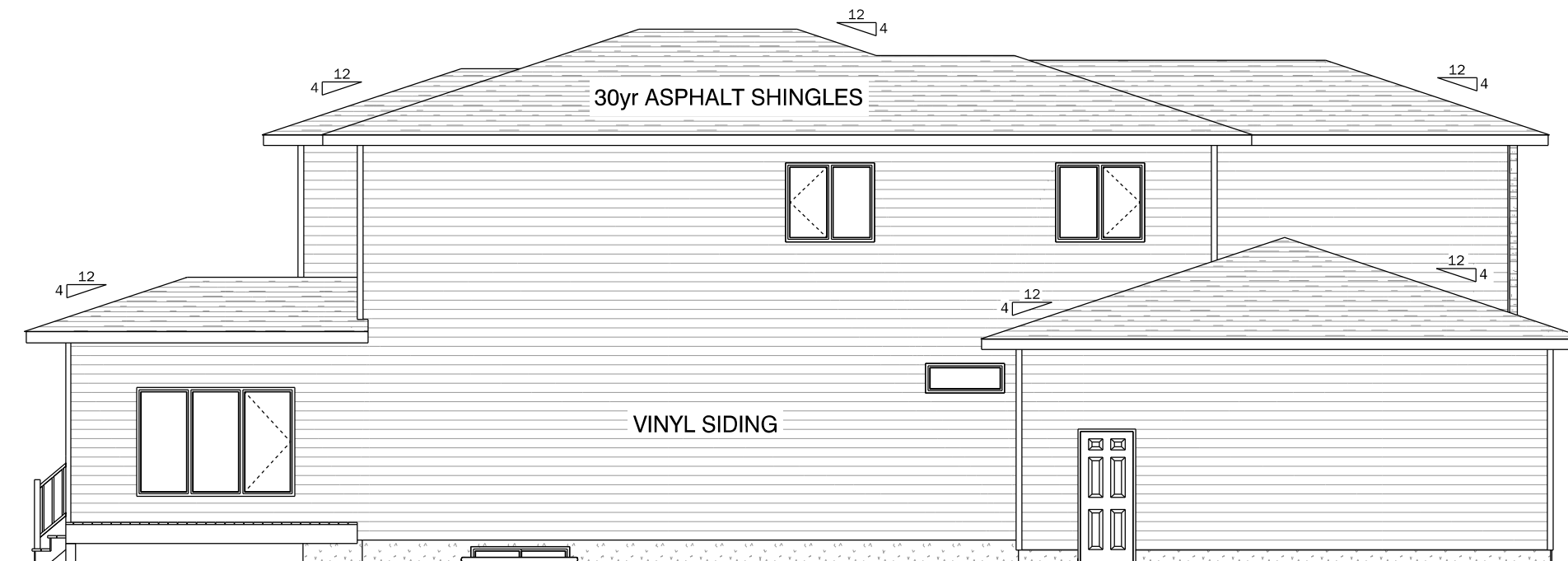
Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@creativedrafting.ca

DRIP FLASHING IS REQUIRED OVER ALL EXTERIOR WALL OPENINGS. THE FLASHING MUST HAVE A TOP SLOPE OF 6%, A DRIP LAP OVER THE WINDOW OR DOOR OF 3/8", HAVE DAMS AT EACH END AND BE INSTALLED BEHIND THE BUILDING PAPER.



3 REAR ELEVATION
SCALE: 1/8" = 1'

DOOR PASSAGE SET TO BE DISABLED OR DOORWAY GUARDED UNTIL DECK IS COMPLETED.



4 LEFT ELEVATION
SCALE: 1/8" = 1'

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

ELEVATIONS

DRAWING:

A5.1

SEE NOTES AND DETAILS ALL PAGES

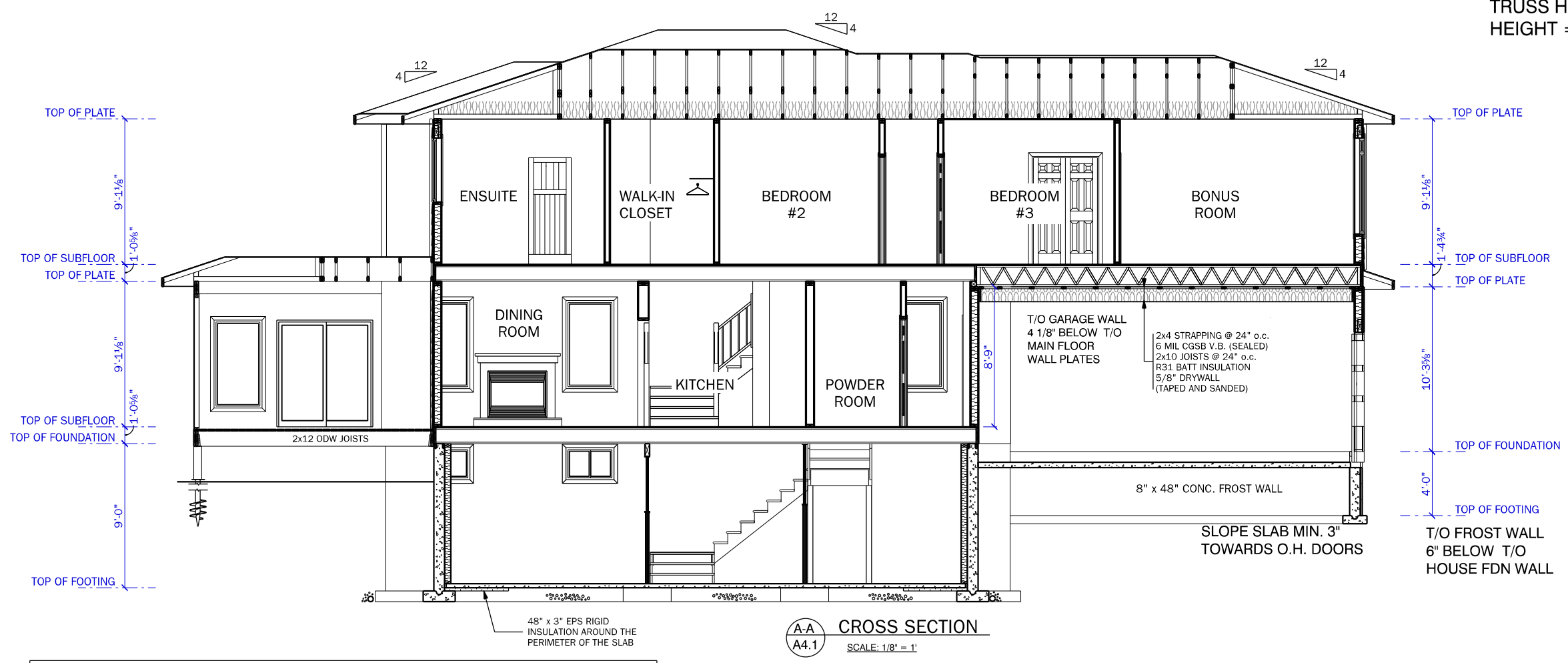
GRADE LINES ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL GRADES TO BE DETERMINED ON SITE.

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

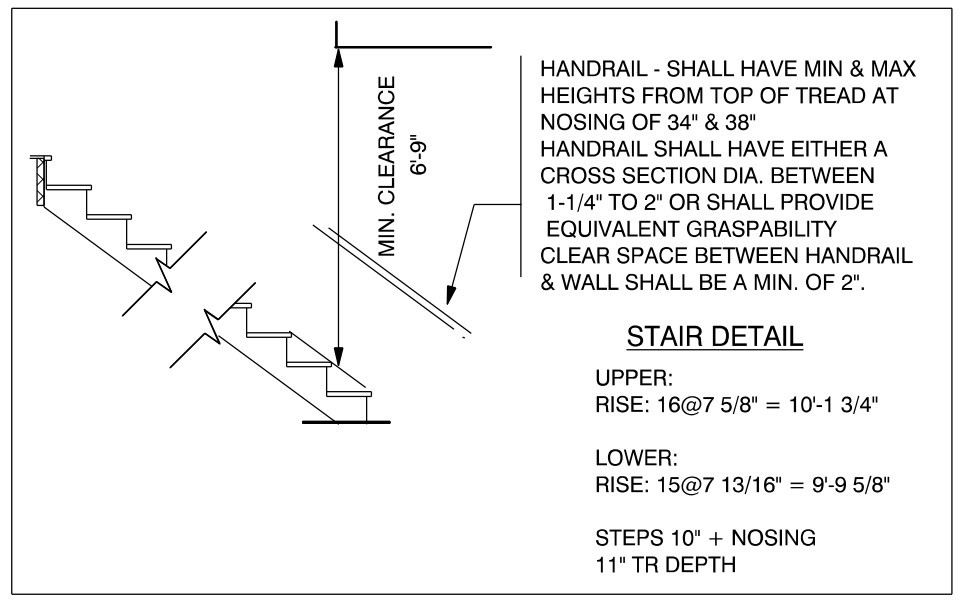
PH: 306-111-2222
EMAIL: info@avh


Creative Drafting & Design
Custom Home Planning
Ph: 306-290-5098
Email: bg@createdrafting.ca

NOTE:
TRUSS HEEL
HEIGHT = 12"



A-A CROSS SECTION
SCALE: 1/8" = 1'



FLOOR JOIST NOTES:

- ALL FLOOR FRAMING DESIGN AND CONSTRUCTION DETAILS TO MEET MANUFACTURER'S SPECIFICATIONS
- CONTRACTOR TO BE FAMILIAR WITH THE SUPPLIER'S "RESIDENTIAL INSTALLATION GUIDE"
- INSTALL METAL JOIST HANGERS AS RECOMMENDED BY THE JOIST MANUFACTURER
ie. SIMPSON STRONG TIE Co. OR APPROVED EQUAL

ROOF TRUSS NOTES:

- ROOF TRUSS PLAN DRAWINGS TO BE SUPPLIED BY THE TRUSS MANUFACTURER.
- ALL GIRDER TRUSS LOCATIONS TO BE CONFIRMED WITH TRUSS MANUFACTURER.
- PROVIDE SUPPORT POSTS FOR GIRDER TRUSSES AS INDICATED IN THE TRUSS MANUFACTURER'S DESIGN.
- BLOCKING IS REQUIRED BETWEEN FLOOR JOISTS AND AT RIM JOISTS BELOW ALL POINT LOADS.
- BRACING BETWEEN TRUSSES AS PER THE MANUFACTURER'S DRAWINGS.

TYP. 2x6 INT. GARAGE WALL:

- 1/2" TYPE 'X' FIR'RTD DRYWALL TAPED & SANDED
- 6 mil CGSB V.B.
- 2x6 STUDS @ 16" o.c.
- BATT INSULATION
- 1/2" DRYWALL TAPED & SANDED

SEE NOTES AND DETAILS ALL PAGES

EXACT STAIR RISE/RUN TO BE DETERMINED ON SITE

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

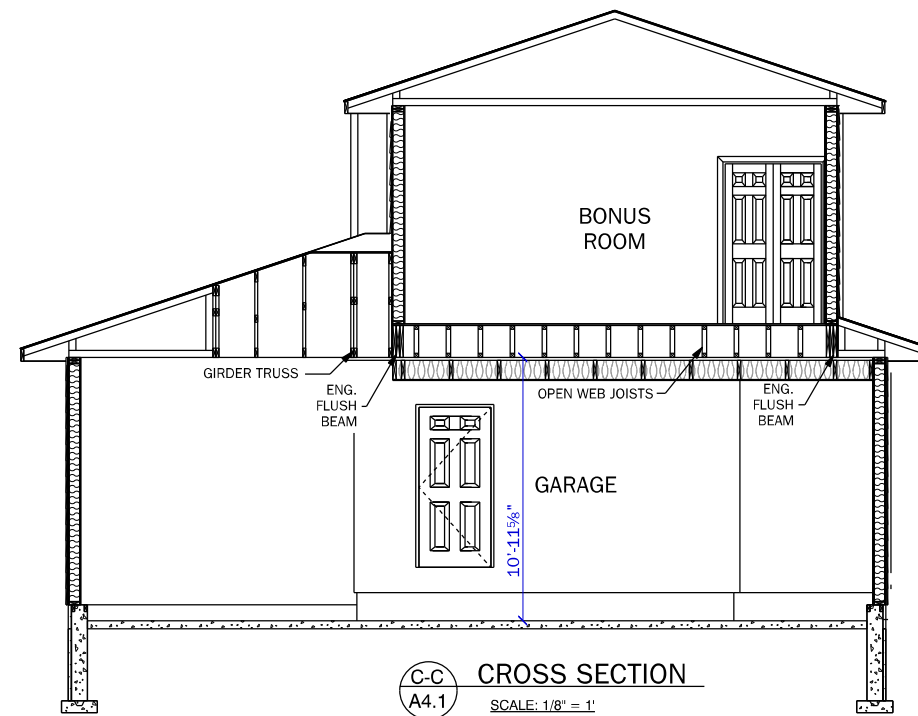
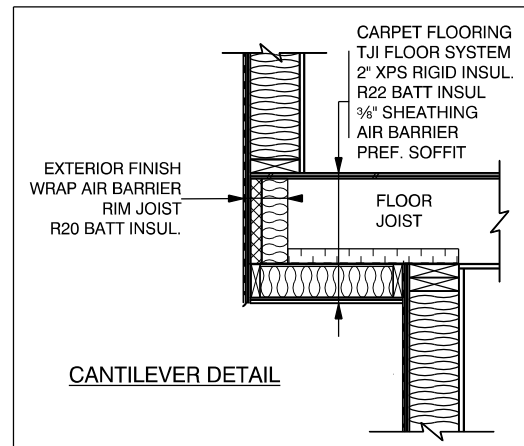
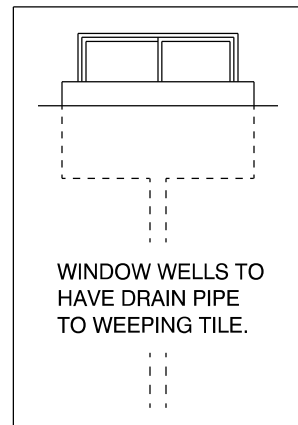
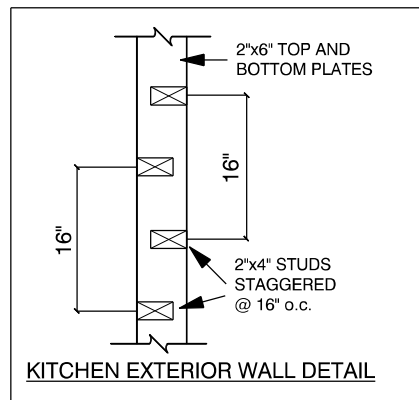
2/13/2021

TITLE:

CROSS SECTIONS & DETAILS

DRAWING:

A6.1



Angel Valley Homes Inc.
Homes of Elegance & Comfort

PH: 306-111-2222

EMAIL: info@avh



Creative Drafting & Design
Custom Home Planning

Ph: 306-290-5098

Email: bg@createdrafting.ca

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

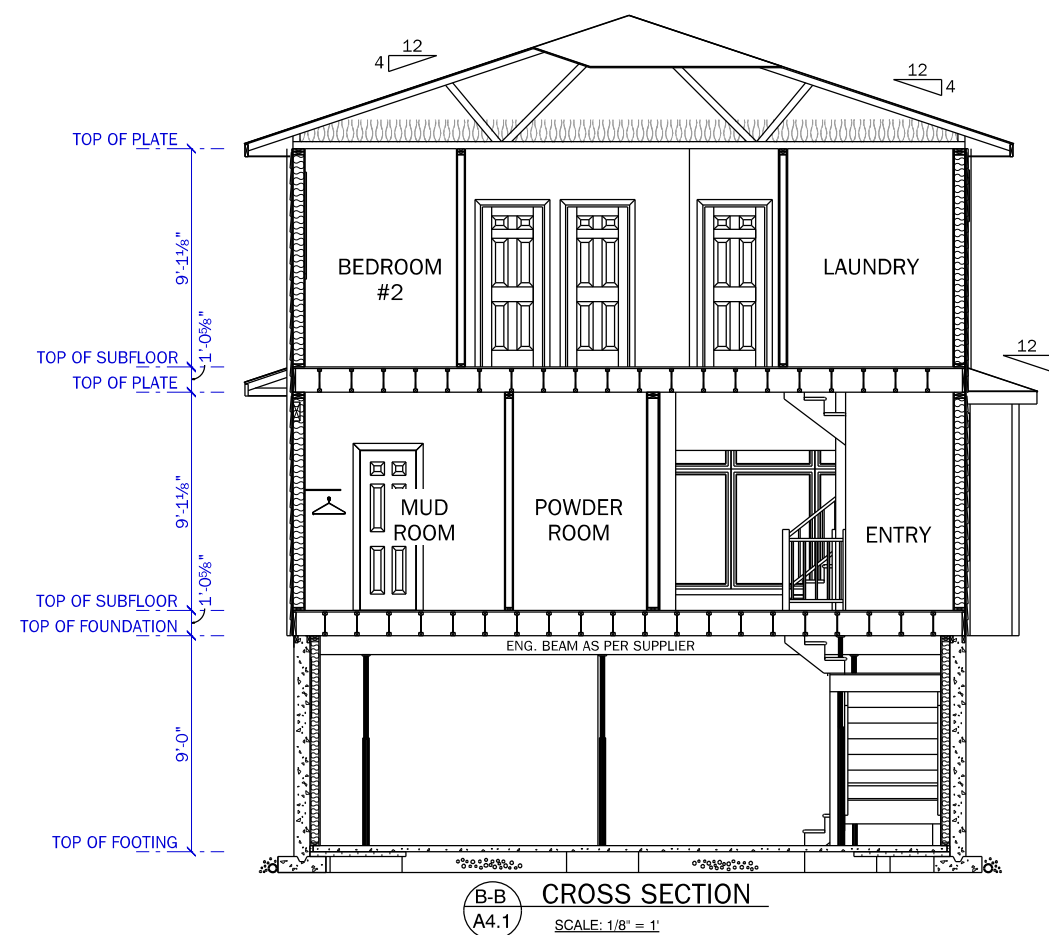
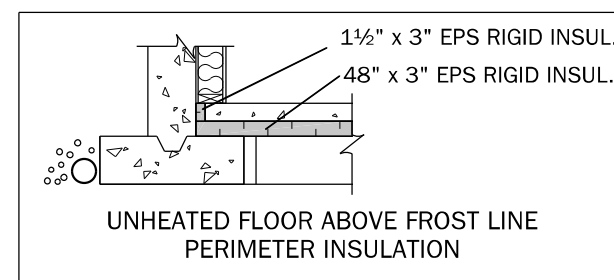
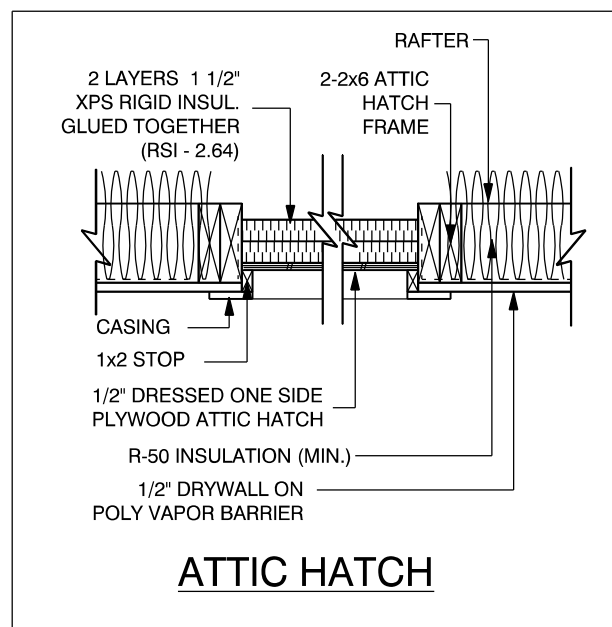
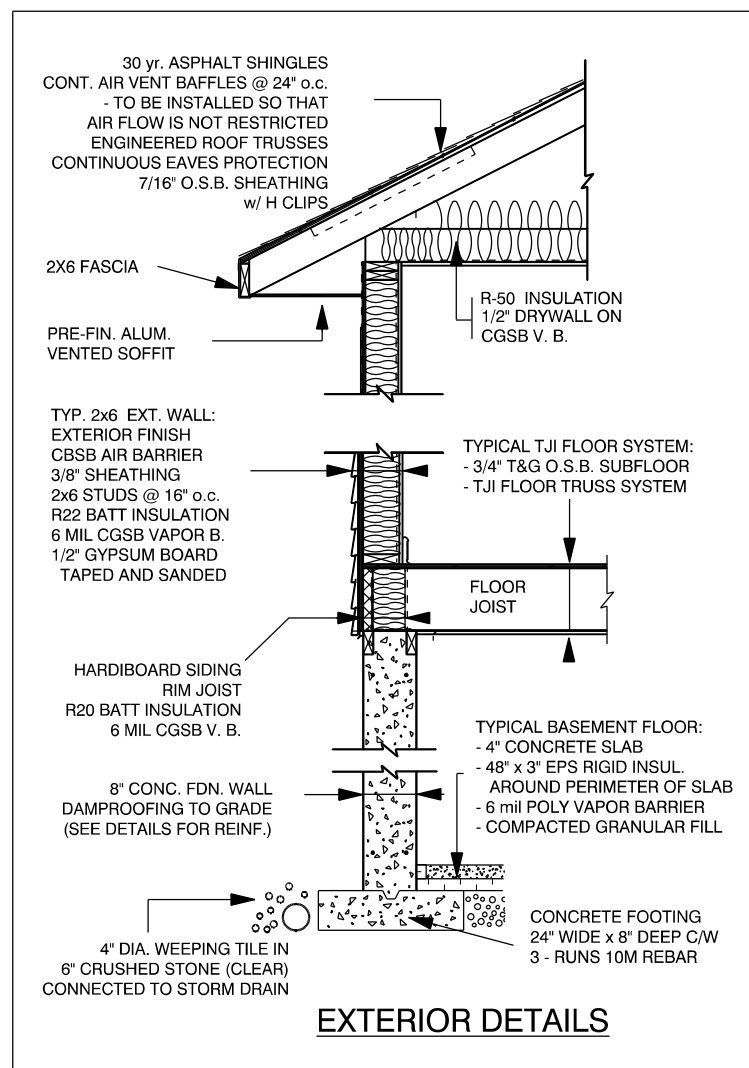
2/13/2021

TITLE:

CROSS SECTIONS & DETAILS

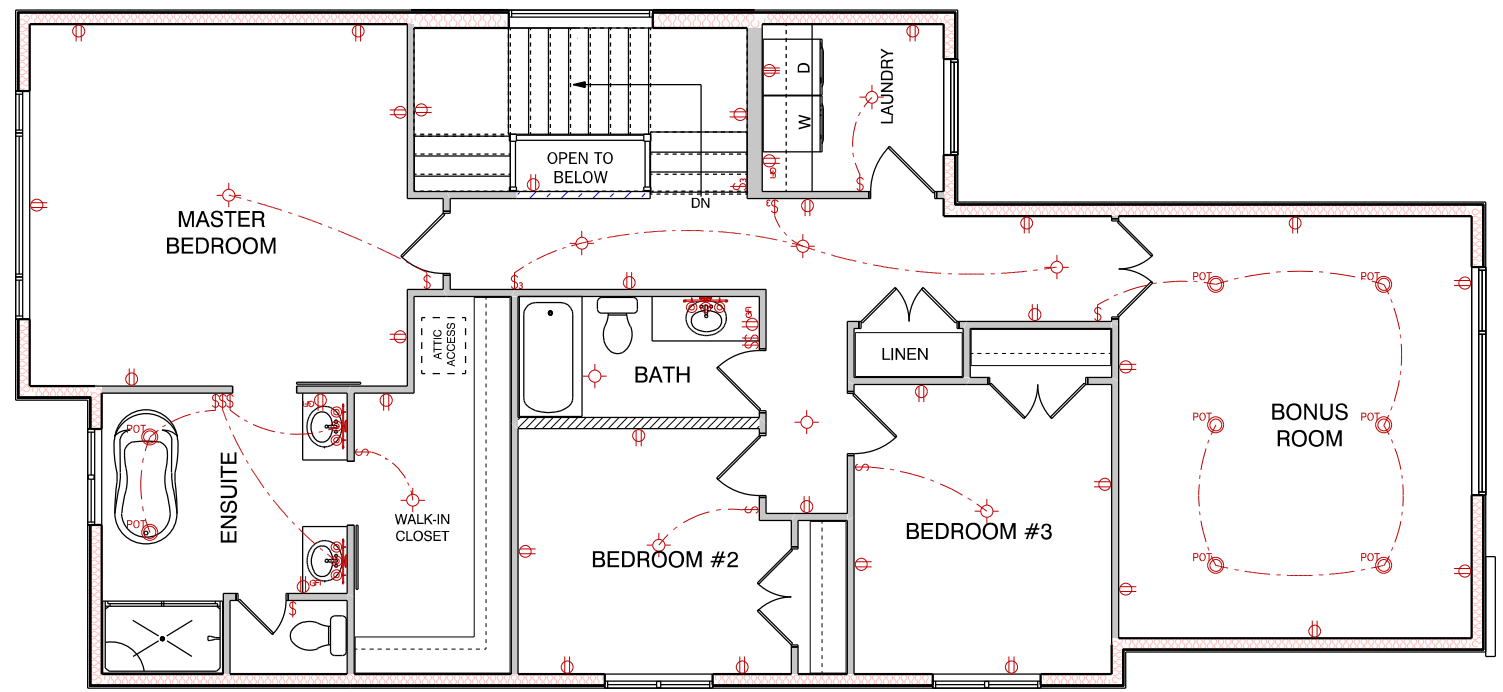
DRAWING:

A6.2



SEE NOTES AND DETAILS ALL PAGES

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER

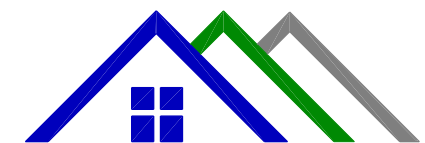


SECOND FLOOR PLAN

NOTE:
 ALL COMBINATION SMOKE C/O ALARMS TO BE HARD WIRED AND INTERCONNECTED BETWEEN LEVELS, AS WELL AS SECONDARY SUITES TO PRINCIPAL DWELLING. LOCATION OF SMOKE DETECTORS TO BE IN ONE CENTRAL LOCATION PER FLOOR(S) AS WELL AS IN EVERY BEDROOM.

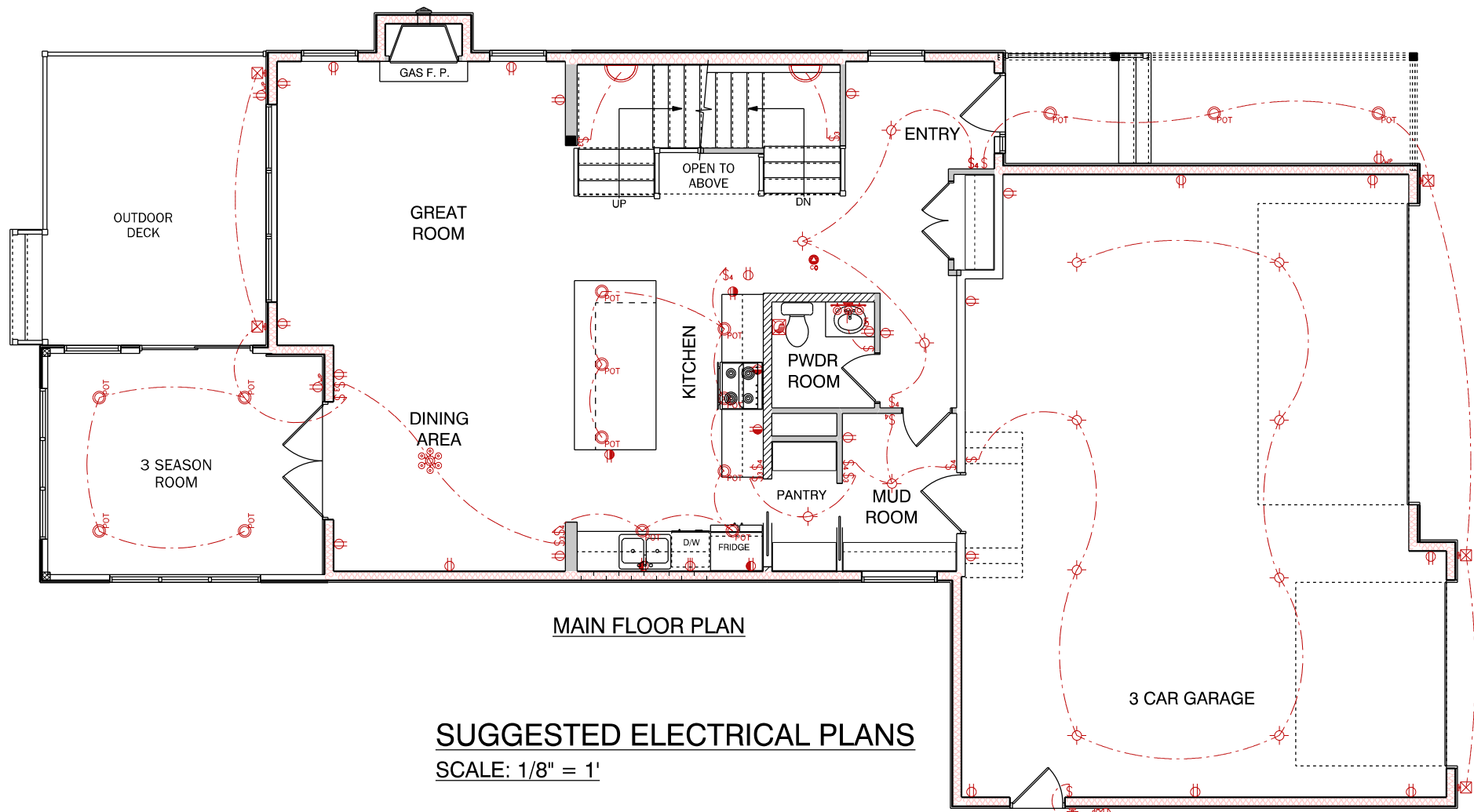
Angel Valley Homes Inc.
 Homes of Elegance & Comfort

PH: 306-111-2222
 EMAIL: info@avh



Creative Drafting & Design
 Custom Home Planning
 Ph: 306-290-5098
 Email: bg@createdrafting.ca

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
DINING LIGHT	1	
POT LIGHT	23	
EXTERIOR LIGHT	6	
220v OUTLET	2	
3 WAY SWITCH	9	
4 WAY SWITCH	9	
BATHROOM FAN	1	
CO DETECTOR	1	
GFI OUTLET	5	
LIGHT	23	
OUTLET	52	
SPLIT RECEPTACLE	6	
SWITCH	12	
SWITCH DOUBLE	1	
SWITCH TRIPPLE	1	
WP OUTLET	4	
VANITY LIGHT	4	
WALL SCENCE	2	



MAIN FLOOR PLAN

SUGGESTED ELECTRICAL PLANS
 SCALE: 1/8" = 1'

CLIENT:

ADDRESS:

216 BURR BLVD.

PROJECT:

RESIDENCE

DRAWN BY:

BG

REFERENCE #:

21301

SCALE:

NOTED

DATE:

2/13/2021

TITLE:

ELECTRICAL

DRAWING:

A7.1

SEE NOTES AND DETAILS ALL PAGES

ALL BEDROOMS TO HAVE ARC FAULT INTERRUPTER CIRCUIT.

EXACT LOCATION AND NUMBER OF LIGHTS, SWITCHES, AND OUTLETS, ETC. TO BE DETERMINED BY HOME OWNER, CONTRACTOR, AND ELECTRICIAN.

THIS DRAWING AND THE IDEAS CONTAINED WITHIN REMAIN THE PROPERTY OF CREATIVE DRAFTING AND DESIGN AND CANNOT BE COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE OWNER